

Service Specification

**Door Entry Systems, Automatic Opening Equipment and CCTV
Servicing, Maintenance and Installation**

May 2026

Contents

| | |
|-----------------------------------------------------------------------------------------------------------------|-------------------------------------|
| SECTION 1 - Description of Works | 3 |
| 1. Introduction | 3 |
| 2. The Employer's Service Requirements | 3 |
| 2.1.1. Servicing & Maintenance (PPM's)..... | 3 |
| 2.1.2. Remedial Works, Repairs, Upgrades and Installations | 4 |
| 2.1.3. Servicing & Maintenance (PPM's)..... | 4 |
| 2.1.4. Remedial Works, Repairs, Upgrades and Installations | 4 |
| 2.1.5. Further Considerations | 5 |
| 2.1.6. Access arrangements | 6 |
| 2.1.7. Contractor Competency | 7 |
| 2.1.8. Door Entry, Automatic Doors and CCTV Servicing, Maintenance and Installation– Minimum Standards | 7 |
| 2.1.9. Key Performance Indicators (KPI's) | 8 |
| 3. Descriptions and Summaries of Lots | 11 |
| 3.1.1. Lot 1 - The Employer East | Error! Bookmark not defined. |
| 3.1.2. Lot 2 - The Employer West | Error! Bookmark not defined. |
| 3.1.3. Remedial works and Repairs | 11 |
| 4. Property Location and Geography | 11 |
| 5. Asbestos..... | 12 |
| SECTION 2 – ICT, Completions & Payments | 13 |
| 6. ICT..... | 13 |
| 6.1.1. The Employer's Contractor Portal Usage..... | 13 |
| 6.1.2. Completions..... | 14 |
| 6.1.3. Application for Payment..... | 14 |
| 6.1.4. | 14 |
| SECTION 3 - Technical Specifications | 14 |
| 7. Servicing Intervals | 14 |
| 8. Servicing Technical Specifications | 15 |
| 8.1.1. Automatic Doors/ Door Openers | 15 |
| 8.1.2. Automatic Gates | 16 |
| 8.1.3. Automatic Vehicle Barriers | 17 |
| 8.1.4. Power Operated Roller Shutters | 18 |
| 8.1.5. Manual moveable walls/ folding walls..... | 18 |
| 8.1.6. CCTV systems..... | 19 |
| 8.1.7. Servicing Reports | 19 |
| 9. Remedial Work & Repair Technical Specifications..... | 20 |
| 10. Upgrade/ New Installation Technical Specifications | 23 |
| 11. Other Considerations | 24 |
| SECTION 4 - The Employer Asset Register | 0 |

SECTION 1 - Description of Works

1. Introduction

This is the Service Specification for the provision of Door Entry Systems, Automatic Opening Equipment and CCTV for the Employer's housing stock located across Southern England.

The Contract will cover Automatic Opening Equipment and CCTV Systems servicing, remedial work and repairs for Door Entry Systems, Automatic Opening Equipment, CCTV Systems and upgrade or installation of new equipment for these systems. The annual remedials requirement is an estimated value of £855k This amount may fluctuate and is not guaranteed. The Employer also reserves the right to seek alternative quotes or to appoint other suppliers for any of the Services the Employer deems necessary.

The Employer holds its stock data electronically against Unique Property Reference Numbers (UPRNs). These include rented and leasehold properties (homes) but also other stock, such as garages, blocks, roads etc.

All works orders, certificates, approvals and payments are managed through The Employer's Contractor Portal (ROCC) managements systems. This requires dedicated resources to manage on the Contractor's side which must be taken into account within the pricing. Support and training will be provided by the Employer throughout the contract duration. Details of ROCC requirements can be found in Appendix D.

The numbers of UPRNs provided are accurate at the point this tender is issued. Changes may occur prior to contract commencement and during the contract terms, due to disposals (stock rationalisation) removing UPRNs and as a result of the development of new properties (adding UPRNs). As such it is anticipated that volumes of work may fluctuate throughout the duration of the contract term. All changes to the asset register will be made by the Employer as and when it feels they need to be made. A full asset register is provided in **Section 4** of this document.

The initial remit of servicing under these contract agreements will be restricted to servicing elements for the asset register as provided in this document. The Employer retains the right to add/remove sites from the asset register as required throughout the life of the Contract.

2. The Employer's Service Requirements

Servicing and remedial works, repairs, installations and upgrades as required.

2.1.1. Servicing & Maintenance (PPM's)

The following services will be required:

| Service | Frequency |
|---------------------------|-----------|
| Automatic door servicing | 6 monthly |
| Automatic gate servicing | 6 monthly |
| Roller shutter servicing | 6 monthly |
| CCTV servicing | Annual |
| Folding wall servicing | Annual |
| Automatic vehicle barrier | 6 monthly |

2.1.2. Remedial Works, Repairs, Upgrades and Installations

The following will be required:

- Repair, remediation and replacement of equipment related to door entry/intercom systems, CCTV systems and automatic opening equipment.
- Other ad hoc works which will be charged under day-work rates or SOR.
- An out of hours and emergency repair service for door entry systems, CCTV systems and automatic opening equipment.
- Design & specification, installation, commissioning of new or replacement automatic doors, door entry/ intercom systems and CCTV systems. As determined by pre-agreed quotation, scope, and requirement.
- Remediation/alteration of all associated building works and electrical systems.

Technical specifications for all services found in **Section 3** of this document.

2.1.3. Servicing & Maintenance (PPM's)

An asset register will be issued by the Employer at contract launch stage along with contact information and access arrangements specific to each site and asset.

The desirable outcome for all service visits is that a satisfactory worksheet is issued following a single visit.

All servicing works are to be delivered against time thresholds as specified within this document which will form part of the KPI suite of these contracts.

All works & services to be carried out against the specifications listed in **Section 3** of this document. Deviation from these specifications is strictly prohibited unless written consent is given by the Contracts Manager.

Service visits will be raised by the Employer and sent through to the Contractor via the Employers Contractor portal.

Each service visit will be assigned a job number and delivery priority based on month, with final certification due no later than the last working day of each month. Servicing paperwork should be loaded via the Employers Contractors portal.

The priority on each job will determine the delivery KPI.

Servicing delivery KPI's will be measured monthly.

2.1.4. Remedial Works, Repairs, Upgrades and Installations

Remedial works are identified either through the servicing activities, or through other means as identified and specified by the Employer. Faults will also be reported via the Employer's contact centre by both Site Staff and the Employer's Customers. All repair works are to be delivered against time thresholds as specified within this document which will form part of the KPI suite of these contracts.

- Repair visits will be raised by the Employer and sent through to suppliers via the Employers Contractor Portal. If the job is an emergency, the Employer will also make a phone call to alert the supplier to the job.

- Each repair job will be assigned a job number and delivery priority based on its urgency (**See Table 2**).
- The priority on each job will determine the delivery KPI.
- Repair/ remediation delivery KPI's will be measured monthly.
- Large scale project work will be managed independently of the contract KPI's to pre-determined contract deliverable, bespoke to each project.
- All efforts should be made to combine visits to reduce environmental and financial impact.

Contractors shall be responsible for visiting the site(s) to take all their own measurements, site surveys, necessary particulars and shall make arrangements with the Employers Customer for gaining access to the relevant areas. Any major quoted works over £1000 (exc. VAT) in value will require at a minimum site visit and survey. The Employer may determine from time to time that quoted works under £1,000.00 (exc. VAT) will also require a site visit and survey and will inform the Contractor of this when raising the job.

The Contractor shall have the means to comply with the delivery of KPIs bearing in mind that the equipment within the premises will be of a differing manufacture. The Contractors operative(s) shall carry a range of tools, suitable access equipment, equipment access keys, calibrated test instruments and any other necessary equipment to perform this function satisfactorily.

The Contractor shall have access to the relevant supply chain to source all required parts and directly arrange manufacturer visits on behalf of the Employer if required.

2.1.5. Further Considerations

Remedials from service visits will be listed on a separate job sheet, under a new job number. It must be implicitly stated that corrective works have taken place and that all faults have been rectified, and if any outstanding work remains.

Travel costs to and from sites should be taken into account in all of the pricing schedules, as the requirement for the contract is to have suitable resource who can cover the geographical areas. Travel costs include vehicles, operative time and all costs that are associated with transport.

NOTE – The Employer is continually revising their ways of working so as to provide a more efficient and streamlined service for its customers. The Employer may require improved quality, or more advanced services, due to legislative changes e.g., Building Safety Act Regulations etc. and any regulation that may be updates. Any amendments will be discussed through the regular contract meetings and agreed through the contract management processes.

The Contractor will be required to manage CCTV systems as part of this contract and as a result the Contractor will have access to CCTV footage of the Employer's sites. The Contractor will be expected to adhere strictly to the Employer's Data Protection, Privacy and Confidentiality Policy for the length of the contract and provide robust security assurances. Any requests to provide CCTV footage will be made via the Employer's nominated contacts for this contract and no footage should be provided without first receiving their permission. The Contractor will also be expected to provide evidence on an ongoing basis of their data protection policies and procedures.

The Contractor is expected to exercise politeness, confidentiality and discretion during the course of the maintenance work. Results of the service may only be divulged to the Employer's representative and other persons nominated by the Employer.

The Contractor must ensure that all employees working for the Contractor and any persons servicing the Contractor behave in a responsible and respectful manner at all times. This includes the wearing of suitable, respectable clothing and identity passes.

2.1.6. Access arrangements

Location of specific equipment can vary depending on sites and could be located in either a dwelling or communal area.

Specific details regarding access codes and passwords to communal facilities will be periodically issued by the Employer through secure means.

Visits to single dwellings will remain the responsibility of the Contractor to arrange within the scope of their own scheduling capability, using details supplied by the Employer at the beginning of this contract.

All available contact details, key codes and key requirements will be available on the Employers Contractor Portal (ROCC). The Employer's teams are also available for any issues which may arise.

Access attempt procedure is as follows:

- Bookings must be made in advance of the due date, giving ample time for resolution if contact with the customer or site staff cannot be made ensuring compliance with the due date.
- For major works that require access to multiple flats, an appointment date for the work should be agreed with the Employer and should not be less than 2 weeks from the day notice is given to allow time to communicate to residents.
- Contact attempts to be made on three separate occasions to organise access arrangements. The contact attempts must include at least 1 in person visit to the site, leaving a calling card.
- Details of the contact (dates, times & relevant numbers or e-mail addresses) to be evidenced via the Employers Contractor Portal.
- If after three occasions still no appointment has been successful, these cases should be flagged as 'No Contact' and escalated back to the Employer for resolution.
- Once the Employer has resolved the issues, the updates will be communicated via the Employers Contractor Portal.
- If the Contractor reports a 'No Access' after attending site, they must call the contact details provided whilst on site and take a photograph of the entrance/front door.
- If the Contractor has had 2 'No Access' visits with associated failed contact attempts, these cases should be flagged and escalated back to the Employer for resolution.
- Once the Employer has resolved the issues, the updates will be communicated via the Employers Contractors Portal.

Cancellation fees will not apply for any visits carried out as part of the above access attempt procedure, including up to 2 no accesses on site.

Normal Daytime Hours are defined as: 8am to 5pm Monday to Friday excluding Statutory and Bank Holidays. Please note there will be no additional costs applicable to the Employer outside of normal working hours for servicing, as some customers may require working outside the normal daytime hours.

All employees and persons servicing the Contractor shall, at the Contractor's expense, be provided with identification passes which meet the minimum acceptable standards of the Employer. The passes shall contain a current photograph of the recipient together with his/her name, also the name of the company by which they are employed. The passes should be encapsulated for protection and be available for inspection by premises staff or customers at any time while the operative is on site.

The Contractor is to supply all suitable access equipment required to gain safe access to all equipment. The Contractor shall supply all access equipment, including ladders, platforms, MEWPs and mobile units etc., to gain access to all plant & equipment at the properties listed at **Section 4** of this document. The Contractor shall ensure that their operatives are fully trained and competent to use the access equipment required and utilised to safely access areas required.

2.1.7. Contractor Competency

Contractors are asked to rely on their own technical expertise to make dynamic assessments of site conditions and arrangements. In instances where prospective contractors feel that the service specifications contained within this document are unsuitable, individual variations to spec must be agreed in writing prior to any work being carried out.

The Employer will request an engineer training matrix which will need to detail all operatives that may work on the contract. This will need to be maintained by the Contractor and when updated, revised copies sent to the service manager. This will also include when any new operative is added. The Employer reserves the right to question the competency of an operative working on the contract and if not satisfied that they are competent to carry out the works set out as part of this contract, reserve the right to request that they are not to attend the Employer sites.

The Contractor shall provide supervisory staff to regularly monitor the performance and quality of the work of its operative(s).

2.1.8. Door Entry, Automatic Doors and CCTV Servicing, Maintenance and Installation– Minimum Standards

All personnel carrying out work to satisfy the requirements in this contract must be deemed qualified, competent, and approved to do so. All personnel must be deemed qualified and competent to carry out work they are assigned under these contracts. Where the contractor sub-let elements of the work the Contractor must ensure their sub-contractor meets the minimum standards.

Personnel will need to be appropriate qualified and demonstrate competency in the below requirements:

- Health & Safety at Work Act 1974
- Control of Substances Hazardous to Health Regulation 2002
- Control of Asbestos Regulations 2012
- Relevant British Standards which include:
 - o BS EN 16005 Power operated pedestrian door sets – Safety in use – Requirements and test methods.
 - o BS EN 13241 the Product Standard for powered doors and gates (and most relevant to the CPR.)
 - o BS EN 12604 & BS EN 12605 on mechanical requirements and tests.
 - o BS EN 12453 & BS EN 12445 on requirements and test for powered gates.
 - o BS EN 12635 on installation and use.
 - o BS EN 12978 on safety devices for power operated doors and gates.
 - o BS EN 60335-2-103 on drives for household and similar gates.
 - o BS EN 60335-2-95 on drives for residential vertically moving garage doors.
 - o BS7571 & BS7671 Requirements for Electrical Installations.

- BS 7958 Closed circuit television (CCTV). Management and operation, Code of practice.
- Any other relevant standards.

The contractor must be able to demonstrate that all of their work (whether carried out directly or via a subcontractor) is completed in line with:

- Industry standards for electrical works (e.g.BS7571, BS7671 and IEE wiring regulations (or EU equivalent)).
- Industry best practice standards for automatic opening equipment servicing.

All bidding contracts must hold accreditation with the with the Automatic Door Suppliers Association (ADSA), the DHF trade association, an alternative competent person scheme or be able to demonstrate competency with the above listed Acts, regulations and British Standards.

2.1.9. Key Performance Indicators (KPI's)

The Employer monitors the performance of contract quality and delivery through a series of KPI measures. The Employer requires the Contractor to achieve KPI targets as detailed in **Table 1**.

These KPIs are specific to this contract and will be utilised when the Employer is determining whether contractors need to be supported through challenging events that may disrupt Service Level Agreements (SLA's).

Methodology

- KPI measures are to be submitted by the Contractor to the Employer contracts manager monthly.
- Monthly submissions will be made no later than the 10th day of every month.
- The Employer will validate all submitted KPI's to data held within its own systems.
- KPI's will form a dedicated discussion point in all contract meetings.
- Customer Satisfaction will be measured under the Employer's direction and instruction.

Contract Meetings will be used as a key forum for managing performance and monitoring KPIs and will be held monthly on a pre-planned date. The Contractor will be expected to provide representation at each meeting. The Employer will require supplementary meetings to review the volume and progress of current jobs which will be held weekly.

Failure to achieve KPI Targets

- If the Contractor or the Contractors Sub-Contractors fail to meet any of the desired KPI targets the Contractor will be asked to provide a rationale for the delivery failure. The Employer will then host a review meeting detailing the areas against which improvements are required.
- Suppliers are required to meet to a format and frequency as deemed appropriate by the Employer's contract manager to discuss performance related issues.
- Following these meetings, the supplier will enter into an improvement plan that has been jointly developed and agreed upon.
- KPI's are applicable to all aspects of this requirement and will be used to gauge performance against targets for all works that fall within the service specification and scope of this tender irrespective of whether they have been delivered by the Contractors primary, or sub-contracted resource.

Table 1

| KPI | Method | Target |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|--------|
| Cyclical Works (Servicing Jobs) | Record the number of planned visits achieved in the period against the number of visits that were due to be completed in the period on a monthly basis. | 98% |
| Response Jobs | Record the number of jobs attended within the given response time against each job priority on a monthly basis. | 98% |
| Planned Jobs/ Quoted Works | Record the number of jobs completed within the given response time against each job priority on a monthly basis. | 98% |
| Missed appointments (Contractor at fault) | Measured by exception: Contractor will automatically achieve 100% unless identified by the client. | 100% |
| Client/resident satisfaction (Overall Service) | Measured by exception: Contractor will require 90% satisfaction for their, or the Employer's, customer satisfaction surveys. | 90% |
| Invoice Correctness – On completion of works or services for the period following application submitted, processed, returned with P.O. and receipt of invoice. The client is to provide a score to indicate how satisfied they are with the invoicing provided by the Contractor on the basis of a percentage score. | Measured by exception: Contractor will automatically achieve 100% unless highlighted by the client | 100% |
| Safety & Quality – Record failure via 2 reportable figures. 1 – Technical Competency 2 – Working Practices | Measured by exception: Contractor will receive 100% unless the client is either notified of an incident or identifies one as part of its own QA function. | 100% |

Table 2

| Job Priorities. | | | |
|-----------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|-----------------------------------------------------|
| Response Level | Name | KPI Classification | Timescale |
| Level 1 E | Critical | E | 4 Hours |
| Level 1 | Emergency | | 24 hours |
| Level 2 | Urgent | U | 5 working days |
| level 3 | Routine | R | 20 working days |
| level 4 | Planned | PPRO | As per planned completion date |
| level 5 | Cyclical | CYCL | As per planned service or inspection visit due date |
| Job Priority Descriptions. | | | |
| Level 1 E | <p>Critical Repair Any defect or situation that has the potential to endanger life or limb, cause major damage to the dwelling or affect a large number of tenants.</p> | | |
| Level 1 | <p>Emergency Repair Any defect that puts the health, safety or security of the tenant or third party at immediate risk or adversely affects the structure of the property. Normally a single dwelling.</p> | | |
| Level 2 | <p>Urgent Repair Any defect that causes some minor inconvenience to the health, safety or security of the tenant or third party.</p> | | |
| level 3 | <p>Routine Repair Any defect that can be deferred without serious discomfort, inconvenience or nuisance to the tenant or a third party.</p> | | |
| level 4 | <p>Planned Repair Any defect typically larger in nature & has resulted from general deterioration, normally external to the property.</p> | | |
| level 5 | <p>Cyclical Pre-planned maintenance activity.</p> | | |

3. Descriptions and Summaries

More detailed information regarding the assets within each lot can be found in **Section 4** of this document.

| Description | Hampshire | London | Wiltshire | Devon & Cornwall | Dorset | Somerset | Grand Total |
|---------------------------|------------|------------|------------|------------------|------------|------------|-------------|
| CCTV Systems | 11 | 27 | 23 | 21 | 31 | 11 | 124 |
| Automatic Doors | 147 | 108 | 32 | 59 | 126 | 23 | 495 |
| Automatic Gates | 5 | 9 | 1 | 4 | 2 | 2 | 23 |
| Roller Shutters | 31 | 0 | 0 | 0 | 4 | 0 | 35 |
| Folding Wall | 0 | 0 | 0 | 1 | 0 | 0 | 1 |
| Automatic Vehicle Barrier | 0 | 4 | 0 | 0 | 0 | 0 | 4 |
| Door Entry Systems | 257 | 97 | 228 | 77 | 343 | 170 | 1172 |
| Grand Total | 451 | 245 | 284 | 162 | 506 | 206 | 1854 |

3.1.1. Remedial works and Repairs

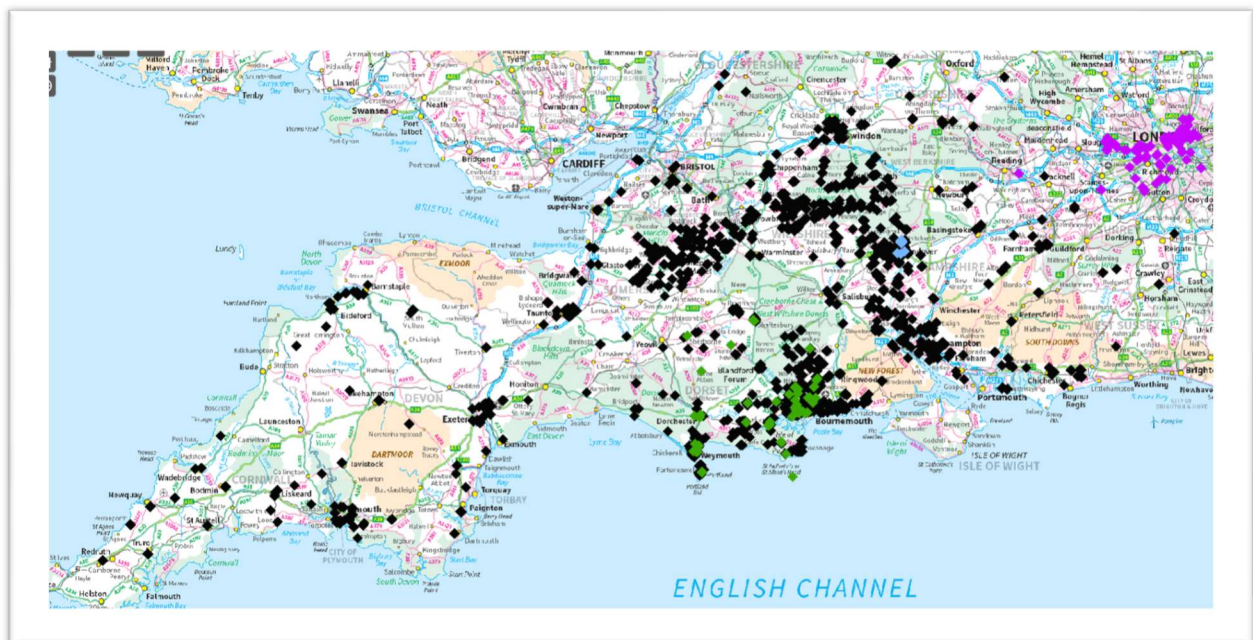
The Contractor will be required to cover remedials works

Works are Ad Hoc and based on PPM findings and reported repairs with the value of remedials being approximately £855,000 (inc. VAT) per annum.

4. Property Location and Geography

The Employer's portfolio is located across the South of England, spanning a geographical area stretching from Cornwall to Hampshire.

The map below illustrates the scope of the Employer's property assets.



5. Asbestos

The Contractor, their Sub-Contractors and their operatives, are required to hold UKATA (or equivalent) asbestos awareness, as a minimum.

All known asbestos installations identified are detailed on the Employers Contractor portal.

The Contractor must have their asbestos procedures up to date and available for review at all times.

Non-licenced work with asbestos must be co-ordinated with the Employers Contract Manager.

Any pricing for works that require non-licenced work must be included within their submitted costs and only carried out with written prior approval from the Employer.

Any Licenced asbestos work is to be referred to the Employer prior to any work taking place.

The Employer is unable to provide information regarding the volume of non-licenced work as this is usually identified as part of dynamic risk assessments carried out by operatives.

SECTION 2 – ICT, Completions & Payments

6. ICT

All job management will be run through the Employers Contractor Portal.

Strict adherence to pre-determined formats is essential for document management, and compliance monitoring at the Employer.

Failure to adhere to these will result in a delay in payment as correct certificate submission constitutes an essential component of delivery. Properties will not be signed off as complete until satisfactory QA of all certifications has been verified following submission to the Employer.

6.1.1. The Employers Contractor Portal Usage

The following is an overview of the expectation of the Contractors use of the Employers Contractor Portal the timeframes outlined below must always be adhered to. The necessary administration provision must be allowed for within the Contractors price.

- To accept and reject jobs within 8 working hours of receipt on the Employers Contractor Portal. All rejections require a call being made to the servicing team and mandatory notes as to why this work will not be completed by the Contractor.
- Once accepted works are to be scheduled and appointment details added to the job by updating the visit date.
- When work cannot be completed on the first visit, to ensure that all parties know of the reason the works were not completed, by selecting the relevant reason and attaching a work sheet. All second visits will be sent back to the Contractor with a count reference (using same job number but referencing DA005634/2). These should be accepted within 8 working hours and scheduled in again as per previous point.
- The completion of jobs can only be back dated up to 10 days prior to the accepted date so the Contractor must stay on top of the jobs they are managing via the Employers Contractor Portal. The Employers Contractor Portal will send daily notifications for open jobs in the portal to assist with this management. Please ensure you provide the Employer with a relevant email address for this distribution email.
- A worksheet must be attached to every job completion (within 2 working days of the onsite visit being made) including the first visit where the job is being returned advising a second visit is required. If this document is disputed, it will be returned to the Contractor in the Employers Contractor Portal with a disputed status advising the reason for the dispute. This must be dealt with within 2 working days by attaching the correct file with accurate details included. Notes of what the Contractor has changed must be included.
- Invoices can be viewed within the Employers Contractor Portal with status of received, reconciled and paid. If there are any queries within this section of the portal, all contact must be via the Asset Management & Maintenance (AM&M) purchase ledger team.
- Invoices, quotes, worksheets, certificates and photos can all be added to the job at any point throughout its life cycle. Notes must always be added to let the Employer employees know it's there.
- Job management is a crucial part of the Contractors role, so the Employer insists that notes are added throughout the job life cycle to ensure all parties are aware of the current situation with each issued job.

- All jobs should go through three main stages; accept or reject, schedule, complete. Timeframes for these are as follows:
 - Accept or reject - 8 working hours.
 - Schedule - within 8 working hours after acceptance. Please note if not able to schedule, notes or reasons can be applied to communicate delays.
 - Complete - Within 2 working days of the job/visit being completed. All completions/visit completions require a worksheet. Notes should be used to communicate delays.

6.1.2. Completions

The order will be paid for under an inclusive price per service cost model. Remedial action work will be paid for under a Schedule of Rates (SOR) which is included in the pricing model of this tender.

Prospective contractors will be issued their lot in full, following confirmation of award, prior to the contract launch meeting.

Contractors are required to submit electronic copies of certification along with a valuation for works contained therein. All valuations & certification submission must be deemed compliant before being considered for processing and payment by the Employer Group.

6.1.3. Application for Payment

6.1.4.

The Contractor following completion of works will submit a monthly application for payment to the Service Manager for review, any non-completed works or costs against jobs outside of the agreed values will be disputed. The reviewed application will be returned highlighting all approved jobs and any disputed with an explanation. Together with the application being returned a consolidated PO will be issued to enable the Contractor to submit a consolidated invoice against the agreed value detailed within the PO for all approved jobs. Any jobs disputed will need to be re-submitted on the next application providing the disputed reason has been addressed and corrected. Any invoices submitted outside of this process or submitted with a value exceeding that detailed on the PO will not be paid. Monthly submissions must be made no later than the 10th day of every month and should include all jobs completed in the previous month.

PLEASE NOTE- The Employer reserves the right to request a full breakdown of costs submitted including evidence of hours spent on site and visibility of any material invoices from the Contractor and its Subcontractors.

SECTION 3 - Technical Specifications

7. Servicing Intervals

The servicing of each item differs, and each is locked into the servicing cycles identified in Section 1.

All supplementary equipment must be serviced in-line with manufacturer's instructions and meet the minimum requirements as set out in the relevant British Standards.

The remedial function will be required because of servicing activities carried out to the schedules

An inspection schedule will be provided by the Employer upon contract award. These schedules will include,

- The asset reference.
- The asset type.
- The scheme/property address/postcode and contact details.
- Property UPRN
- The Job Number

Where urgent remedial works have been identified these will be brought to the attention of the Employer on the day of the examination. The Employer will then advise on a suitable approach so remedial works can be dealt with immediately.

Subsequent non-essential repairs will fall into the remedial requirements and be raised as separate jobs to be issued against priority timescales as determined by the Employer.

Defects that are classed as 'immediately dangerous' must be notified to the Employer Contracts Management Team so that the HSE can be notified under RIDDOR.

It is understood that some equipment types are of such a specialist nature that it will be necessary to sub-contract works and services to sub-contractors. It remains the responsibility of the Contractor to ensure that delivery of these works is to a quality standard reflective of this service specification and that priority timescales are still upheld.

8. Servicing Technical Specifications

8.1.1. Automatic Doors/ Door Openers

The following should be carried out:

- Check repair history of the doors since the last maintenance service.
- Ensure installation is secure and all components securely fixed and safe.
- Check all nuts, bolts and screws on the tracks, as well as the automatic opener and the door itself to make sure everything is tightened securely.
- Inspect motor/gearbox and return pulley for condition and alignment.
- Inspect belt for wear.
- Ensure belt is securely mounted and all components are clear.
- All the hinge pins should be oiled, and all the nuts and bolts retightened.
- Examine all gearboxes drives, hydraulic unit, pump and linkages.
- Clean all tracks and grease the rollers. Ensure a thick grease is used that can accommodate temperature changes well.
- Visually check carriage wheels and track, ensure doors move freely with minimum friction.
- Check condition of floor guide.
- Replace rollers that don't operate smoothly.
- Clean adjust and lubricate gearboxes.
- Check activation and safety devices, clean lenses on sensors and weather covers.
- All manufacturers service recommendations are to be completed and recorded.
- Ensure correct adjustment of guides and pivots, adjust where necessary.
- Check condition of finger guard.
- Check design characteristics don't pose a risk to the buildings intended users.
- Examine flexible cables for wear, fraying braid and brittle insulation.
- Examine connections. Tighten all terminals as required.
- Visually inspect processor and/or connection board and are correctly earthed.

- Check all controllers.
- Check battery pack and programming switch.
- Adjust delay and hold open times as necessary to ensure safe working order.
- Clean and adjust micro switches, cams door drive units where necessary.
- Generally clean door/frame and manual switches and check for correct working order. All as per BS7671 including any amendments.
- Note any non-conformities as required.
- If any safety devices fail to comply with the necessary standards the equipment should immediately be isolated out of service and the situation drawn immediately to the Employer's attention via telephone and followed up by email.
- If the equipment is defective, please place an out of service sign on the equipment which is to include a message this has been reported to the Employer.

8.1.2. Automatic Gates

The following should be carried out:

- All manufacturers service recommendations are to be completed and recorded.
- Check design characteristics don't pose a risk to the buildings intended users.
- Check repair history of the Gates/Barriers since the last maintenance service.
- Ensure installation is secure and all components securely fixed and safe.
- Check gate structure for damage and integrity of anti-corrosive finishes, cracks & weld failures.
- Clean paints where rusted.
- Check general condition and operation of the gate.
- Check & lubricate bearings
- Check level and plumb structures throughout the movement.
- Check and tighten hold down bolts.
- Visual check of drive units for oil leaks.
- Check operation of the drive unit.
- Inspect drive for wear and lubricate in accordance with manufacturers recommendations.
- Check presence and security of travel stops.
- Check operation and proximity of switches.
- Check wear and tensioning of drive chain.
- Check manual operation.
- Check the manual release and free movement of leaves throughout the movement.
- Examine flexible cables for wear, fraying braid and brittle insulation.
- Examine connections. Tighten all terminals as required.
- Test insulation resistance.
- Check all controllers.
- Check battery pack and programming switch.
- Adjust delay and hold open times as necessary to ensure safe working order.
- Clean and adjust micro switches, cams door drive units where necessary.
- Induction Loop, check operation.
- Intercom (if fitted) check operation & interface.
- Complete the Authorised Technicians Service Report, ensuring all results obtained comply with all current standards and manufacturers requirements as applicable.
- Visual inspection of safety devices (safe edges & photo beams etc.)
- Complete operational test, including force testing in line with machinery directive.
- Check that you can start and stop the gate/barrier at will and the complete the following:
 - Functional check of travel limit settings
 - Visual & audible check of warning lamps & sounders
 - Functional check of photo beams

- Functional check of safe edges
- Check function & smooth running of drive units.
- Test force limitation with a force tester.
- Test light curtains with a test piece.
- Record all test results.
- If any safety devices fail to comply with the necessary standards the equipment should immediately be isolated out of service and the situation drawn immediately to the Employer's attention via telephone and followed up by email.
- If the equipment is defective, please place an out of service sign on the equipment which is to include a message this has been reported to the Employer.

8.1.3. Automatic Vehicle Barriers

The following should be carried out:

- All manufacturers service recommendations are to be completed and recorded.
- Check design characteristics don't pose a risk to the buildings intended users.
- Check repair history of the Gates/Barriers since the last maintenance service.
- Ensure installation is secure and all components securely fixed and safe.
- Check Barriers vertical & horizontal positions.
- Inspect condition and adjust if required of limit switches
- Check operation of safety switch
- Check condition of button system on Barrier operation
- Check operation of card reader and/or magnetic operator.
- Check presence and security of travel stops.
- Check correct operation of drive motor & brushes
- Check mechanical items, oil levels, mechanical parts & tension.
- Check top & bottom limits.
- Check the manual release and free movement of leaves throughout the movement.
- Examine flexible cables for wear, fraying braid and brittle insulation.
- Examine connections. Tighten all terminals as required.
- Test insulation resistance.
- Check all controllers.
- Check battery pack and programming switch.
- Adjust delay and hold open times as necessary to ensure safe working order.
- Clean and adjust micro switches, cams door drive units where necessary.
- Check operation of induction loop
- Check operation & interface of intercom if fitted
- Visual inspection of safety devices (safe edges & photo beams etc.)
- Complete operational test, including force testing in line with machinery directive.
- Check that you can start and stop the gate/barrier at will and the complete the following.
 - Functional check of travel limit settings
 - Visual & audible check of warning lamps & sounders
 - Functional check of photo beams
 - Functional check of safe edges
 - Check function & smooth running of drive units.
 - Test force limitation with a force tester.
 - Test light curtains with a test piece.
 - Record all test results.
- If any safety devices fail to comply with the necessary standards the equipment should immediately be isolated out of service and the situation drawn immediately to the Employer's attention via telephone and followed up by email.
- If the equipment is defective, please place an out of service sign on the equipment which is to include a message this has been reported to the Employer.

8.1.4. Power Operated Roller Shutters

The following should be carried out:

- Check repair history of the shutters since the last maintenance service.
- Check design characteristics don't pose a risk to the buildings intended users.
- Ensure installation is secure and all components securely fixed and safe.
- Close the Door/Shutter/Grille and check condition of the visible Curtain/Door/Grille/Frame/Tracks and all visible fixings and components.
- Apply appropriate lubricant to accessible moving parts of the door including gearing and pivot assemblies.
- Apply appropriate lubricant to accessible moving parts of the door including gearing and pivot assemblies.
- Check alignment of door/shutter to ensure smooth operation and ease of locking.
- Check all locks and clean out lock sockets.
- Check and adjust limit switches.
- Check any rubber seals, draught excluders, glazing beads and door joints.
- Check door stops and tighten/adjust as necessary.
- Check Guides, Fixings and stability (grease if appropriate.)
- Clean dirt and debris from bottom of Channel Guides and tracks.
- Check performance of spring tension and the balance of the door.
- Check condition of suspension cables.
- Check condition of winches, drive chains, pulley and gears (if accessible.)
- Check manual override.
- Check manual haul chain for correct operation and condition of chain.
- Check level of gearbox oil and top up, if necessary, to Manufacturers Spec.
- Check Lathe and end locks.
- All manufacturers service recommendations are to be completed and recorded.
- Examine flexible cables for wear, fraying braid and brittle insulation.
- Examine connections. Tighten all terminals as required.
- Test insulation resistance.
- Check all controllers.
- Check battery back-up and other fail-safe devices for correct operation.
- Adjust delay and hold open times as necessary to ensure safe working order.
- Check safety and activation devices for correct operation and adjust as required.
- If any safety devices fail to comply with the necessary standards the equipment should immediately be isolated out of service and the situation drawn immediately to the Employer's attention via telephone and followed up by email.
- If the equipment is defective, please place an out of service sign on the equipment which is to include a message this has been reported to the Employer.

8.1.5. Manual moveable walls/ folding walls

The following should be carried out:

- Check repair history of the walls since the last maintenance service.
- Check design characteristics don't pose a risk to the buildings intended users.
- Ensure installation is secure and all components securely fixed and safe.
- Check the track is secure and are clean and free of debris.
- Inspect the rollers for wear.
- Lubricate the track and roller system if necessary.
- Check all panels are correctly aligned with each other.
- Check all seals are fully operational.
- Check overall operation.

- All manufacturers service recommendations are to be completed and recorded.

8.1.6. CCTV systems

The following should be carried out:

- Check image sensors.
- Back focus to be set.
- Check all connections on cameras re sound (BNC's etc.)
- Clean fixed Lens.
- Check focus on lenses.
- Auto iris/direct drive levels to be set as required Recording System.
- Check all cameras are recording on required schedules, picture quality is optimum and are recording the required areas only.
- Confirm any required privacy zones or covers are in place where required.
- Check and adjust time and date stamps.
- Check all recording schedules and set ups and ensure footage is stored for 30 days as per the Employer's Surveillance Procedure.
- Check motion detection operation is at minimum level on required cameras.
- Check all connections are secure and sound.
- Ensure site management know how to copy/store camera images.
- Check all electrical mains connections are in good condition without signs of wear of fraying.
- Ensure low voltage power supply outputs are correct when full loaded.
- The presence of correct signage.
- Ensure provision of any deterrent cameras are in a condition to remain effective.

8.1.7. Servicing Reports

The Contractor shall submit electronically within 2 days of the service a PDF report via the Employers Contractor Portal (ROCC). For automatic opening equipment, there should be 1 report per asset. For CCTV system, 1 report for each system is required.

The service report should conform with the relevant standard and include:

- Contractor name and address.
- Site name/the Employer's job number.
- Technician's attendance time/date.
- Technician's time spent on site.
- Engineer's name.
- Location of equipment.
- Type of service carried out.
- Make/Model and type of equipment.
- Detail of works completed, together with summary if system has been returned to working order/additional recommendations.
- Details of any defects and recommended actions.
- Confirmation the equipment is safe to be left in use.
- Confirmation engineer has carried out dynamic risk assessment and confirmation it is safe to proceed.
- Engineer signature.
- Client signature (if available.)

Please note: No handwritten reports will be accepted.

The template servicing report will be reviewed and agreed by the Employer and the Contractor prior to contract commencement.

9. Remedial Work & Repair Technical Specifications

The Contractor will be required to carry out remedial work and repairs to all elements of the systems which will be of varying manufacture.

Repair and remedial work to door entry systems could include work the following elements:

- All electronic access components on properties.
- Dwelling handsets included all accessories installed.
- Extension sounders.
- All cables and distribution associated with the access systems including the mains supply from the isolator.
- Power supplies
- Lock release/mechanical locks.
- Pac readers and Pac control units/or systems.
- Tradesmen's facilities or time clocks.
- Video camera integral to panels.
- Lift fob readers.
- Electronically operated locks or lock keeps.
- Time switch for a tradesman's facility
- Any other elements required by the Employer.

Repair and remedial work to CCTV systems could include work the following elements:

- Cameras including deterrent units.
- Recording equipment.
- Links and remote links to monitoring systems.
- Signage.
- Cable management.
- Updating of the asset register and equipment details.
- Monitors.
- Cabinets.
- Any other elements required by the Employer.

Repair and remedial work to Automatic Opening Equipment could include work the following elements:

- Electronic components and cabling on existing operators.
- Configuration settings.
- Sensors.
- Drive arms.
- Motors.
- Pulleys.
- Belts.
- Controllers/control panels.
- Photocells.
- Safety edges.
- Shutter curtains and laths.
- Guide rails.

- Any fobs/remotes/buttons used to operate door.
- Safety equipment, including fingerguards.
- Signage.
- Power supplies.

Any items found to be defective shall be replaced like for like with a similar product from the same manufacturer or an alternative manufacturer with prior agreement from the Employer. Where original manufacturers products are no longer available equivalent parts may be used on prior agreement with the Employer.

The Employer are to be notified should any of the below situations arise, but this should not delay works proceeding:

- Any repairs caused as a result by vandalism, storm damage or wilful neglect by a third party.
- Obsolete or end of life equipment (as determined by the Employer.)

9.1.1. Repairs at Time of Service & At First Repair Attendance

The Contractor shall be permitted to undertake remedial works to correct non-functioning equipment up to financial limit of £250 (exc. VAT) at the time of service or at time of first repair call out. This figure may be amended at the Employer's discretion. Repairs beyond this threshold will need to be subject to the Employer approval. Any request for payment for repair works undertaken exceeding the threshold will be rejected and excess spend will not be paid.

Please note if there is an immediate danger/threat to life present and works to make safe would exceed the working spend limit no pre-approval will be required and the Employer will accept costs retrospectively. Please ensure that the Employer is made aware at the earliest opportunity.

If repairs are undertaken at the time of the service a retrospective repair job will need to be requested and completed within the Employer's Contractor Portal detailing works completed. This retrospective repair job will also need to be quoted when applying for the additional payment.

9.1.2. Spare Parts and Renewals

The Contractor shall use only genuine manufacturer's spares, except where otherwise directed, with all removed equipment, to be taken from site and correctly disposed of at the Contractor's expense in line with relevant legislation.

Contractor's vehicles at the start of each day shall carry replacement parts to aid in the ability to complete a 1st time fix.

The Contractor shall only use new spares, except when otherwise directed. Reconditioned parts are not acceptable, with the exception of no longer obtainable parts.

Random checks of replaced parts may be carried out by the Employer. The Contractor shall reimburse the Employer for any parts that have been changed and subsequently are found to be in non-working order.

The Employer reserves the right to request copies of supplier's invoices to verify cost mark-up against trade price of materials used against the values stated in the Tender Response Document.

The Contractor shall ensure that they always source all materials at the most competitive rates currently available to ensure best value.

All replacement parts shall be on a like for like basis if still available. Where parts are no longer obtainable, replacements shall match the original performance and be approved by the original manufacturer of the equipment to ensure the original design remains compliant.

9.1.3. Quotations

For all repairs and remedial works over the £250 (exc. VAT) limit or for repairs and remedial works not completed at the time of service or first attendance, the Contractor shall submit an itemised quotation. A quotation request will be raised by the Employer under the planned job priority and the timeframe for provision will be set by the Employer's Contract Manager on a case-by-case basis.

All quotations are provided on an "at risk" basis at no cost to the Employer irrespective of if a site visit is required.

All quotations are to include a full elemental breakdown showing labour, material, plant and other allowances for each element to enable the quotation to be evaluated for value for money.

The labour element of the quotations is to be broken down by engineer trade with hours stated and the appropriate hourly rates from the Pricing Matrix applied.

All plant; materials and specialist subcontract elements are to be stated as net costs with the relevant uplift from the Pricing Matrix applied and shown separately. The Contractor shall upon request by the Employer provide demonstrable evidence as to the costs of each element.

Where any element of the works subject to quotation fall outside the scope of this contract (for example builders work or other trades not covered by the rates within the Price Matrix) the Contractor will be required to obtain three quotes for such work and appoint the Contractor which offers the best value for money. Any subcontractor engaged by the Contractor is deemed to be a domestic subcontractor for which the Contractor has full responsibility for, including but not limited to health and safety and payment. The Contractor shall, upon request by the Employer, provide details of the quotations received in accordance with the above for any work element forming part of a quotation for examination prior to acceptance of the quotation and approval to proceed.

Only quotations submitted as set out in accordance with the above and utilising the rates from the Pricing Matrix will be considered, this is to enable acceptance of the quotation without further procurement where the Employer considers that the quotation represents value for money.

Subject to approval of a submitted quotation, the Employer will issue the Contractor with an official instruction to proceed if deemed necessary, via the Employers Contractor Portal. The job will be raised under the planned job priority with a timeframe for completion set by the Employer Contract Manager acting reasonably. Only works for which an official instruction is given are to be undertaken, no reimbursement will be made for works undertaken without prior approval.

Breakdown, repair and renewal works exceeding £250 (two hundred and fifty pounds) (ex VAT) in value do not as of right form part of this Contract and the Employer may seek quotations from other suppliers for this work to ensure competitiveness and value for money, any request quotations or tenders being undertaken in accordance with the Employer's Contract Standing Orders.

The Employer makes no guarantees or representations as to the level of repair or renewal work that the Contractor will be instructed to undertake arising out of any servicing, inspection or testing activity, breakdown or callout. Any specific breakdown, repair or renewal work over and above routine servicing, inspection and testing work exceeding £250 (ex VAT) in value will only be awarded to the Contractor in accordance with the above.

9.1.4. Call Outs and Emergency Repairs

The Contractor shall be required to provide a 24-hour 365 day per year emergency breakdown service. Answer phone services are not acceptable.

The Contractor shall be able to respond to instructions to attend a critical emergency breakdown by attending site within four hours from receipt of call from the Employer.

Breakdowns shall be given priority over planned service visits and must be completed within scheduled timeframe, unless otherwise agreed with the Employer. Every attempt should be made to still attend rescheduled work within priority SLAs. Any residents subject to cancelled appointments should be called by the Contractor to inform them and rearrange, and new appointments should be logged in the Employers Contractor Portal (ROCC).

For emergency breakdowns reported during normal working hours the Contractor will be issued verbally with an instruction followed by digital instruction via the Employer's Contractor Portal. Routine Repairs will just be released via the Employers Contractor Portal without a call so the Contractor will be expected to regularly monitor the Employers Contractor portal.

For breakdowns reported outside normal working hours the Contractor will be given verbal instruction and be issued written instruction the following working day via the Employers Contractor portal.

The Contractor shall provide details for the out of normal hours breakdown service. Details which shall include names, contact numbers and escalation contact details shall be available at the commencement of the contract. These details shall be updated to reflect any revisions immediately following any such revisions. The Contractor shall also re-confirm the contact details prior to each annual extension of the Contract and prior to times of public holidays e.g. Easter, Christmas etc.

The Contractor shall report to the Employer if they are unable to complete a repair and update the Employers Contractor Portal with the course of action, they are taking i.e. obtaining replacement parts. The Contractor shall also report to the client if any appointments need to be rearranged within 24 hours, for example, due to engineer sickness absence.

In the event of spares/parts not being available from stock or local suppliers the Contractor is to make arrangements for overnight delivery direct from the manufacturer to their agents.

Random checks of replaced parts may be carried out by the Employer. The Contractor shall reimburse the Client for any parts that have been changed and subsequently are found to be in working order.

10. Upgrade/ New Installation Technical Specifications

The Employer reserves the right to seek competitive alternative quotations for all upgrade and new installation works. The Employer reserves the right to place orders with other suppliers for this work if their quotations are deemed to offer preferential rates.

Where a new piece of equipment has been installed whether this is a direct replacement or a completely new install a separate risk assessment will need to be submitted alongside the service reports and servicing schedule whereby a technically competent person has completed a review of the suitability of the type of equipment and equipment settings based on the intended building users.

For all works that fall under the scope of Construction (i.e. outside of servicing and repairs), as defined under the CDM regulations, the Contractor shall ensure that a specific Construction Phase Health and Safety Plan (CPP) is available on site and reflects the safety arrangements

relevant to that site. For example, protection of the public, exposure to asbestos, electricity and confined spaces, etc. See HSE site for further information.

Throughout the course of the contract, the Employer may have preferred manufacturers, makes and models for new installations. Any current preference requirements will be passed to the Contractor before contract start.

11. Other Considerations

All sites shall be maintained as a clean area at all times free of any litter or debris. The Contractor shall ensure that all public areas and pathways are left clear and free of hazards at all times and leave the premises clean and tidy on completion of the work. The Contractor shall provide suitable first aid facilities on site. The Contractor shall ensure that all personnel are provided with, and instructed to wear, proprietary personal protective equipment (PPE) where and whenever there is a risk of injury, as deemed necessary by Risk assessment /Method Statement. The Contractor shall at all times adopt the working practices as defined in the RAMS.

The Contractor shall carry out a detailed and recorded "Risk Assessment" and 'Method Statement' for the works and submit copies to the Employer. All ad-hoc repair works must have at least a documented dynamic risk assessment confirming it's safe to proceed before carrying out any repairs.

The Employer will always require a method statement for the following types of work:

- Demolition
- Steel erection
- Entry into confined spaces
- Handling and removal of asbestos (non-licensed work)
- Use of explosives (including cartridge tools)
- Roof works and other overhead works
- Contaminated sites or buildings
- Other high-risk activities may also require a Permit to Work

General Principle of Risk Assessment: The risk assessment shall identify what measures the Contractor needs to take to comply with the requirements and prohibitions imposed on them by or under the "relevant statutory provisions". This phrase covers the general duties in the Health and Safety at Work Act etc. 1974 and more specific duties in the various Acts and Regulations (including the Management of Health and Safety at Work Regulations) 1999 associated with Health and Safety at Work.

All works shall be carried out in strict accordance with the requirements of "The Work at Height Regulations 2005.

All chemicals to be used in the servicing and cleaning process to be advised to the Client complete with all your relevant COSHH Assessments and copy of the manufacturers Hazard Data Sheets for prior approval.

SECTION 4 - The Employer Asset Register

This Table is Attached as Appendix H

This table is attached as Appendix I

- End of Document -

Sarsen Court, Horton Avenue, Devizes, Wiltshire SN10 2AZ  **0333 400 8222** www.aster.co.uk

Aster Group is our over-arching corporate brand and comprises the following companies and charitable entities:

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