
Pre-Construction Information (Health and Safety)

Redecoration of Doors, Windows and associated elements at:-

1-12 & 14-20 Bowes Court,
1-10 Burnham Court & East Tower,
1-8 Cedar House,
1-12 Chapel Court,
1-10 Cooke Court & West Tower,
1-12 & 14 Clock Tower Lodge,
1-9 Elm Court & Common Area
1-8 Speer Court,
1-12 & 14-41 Thurnham Court,
1-12 & 14-18 Wyatt Court
Bin Stores and Other Features

Drews Park, Devizes, SN10 5FE

Pre-Construction Information Plan (Health and Safety)

Redecorations, Drews Park, Devizes, Wiltshire, SN10 5FE



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COMPETENCE:

Savills (UK) Ltd shall at all times provide competent CDM Advice and act as the Principal Designer as defined within the Construction (Design and Management) Regulations 2015, up to the point of handing over this responsibility to Aster's own in house team, at delivery of the final report.

Competency, for the purpose of the Regulations, shall be trained to a professional accreditation including Chartered Members of the Royal Institution of Chartered Surveyors; Chartered Members of the Institute of Occupational Health and Safety; Fellows of the International Institute of Risk and Safety Management and Fellows of the Association of Project Safety; and by knowledge attained through project experience.

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1. Introduction

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1.1. General

Clients involved in the procurement of construction work, including maintenance and alterations, have a legal duty assigned to them under the Construction (Design and Management) Regulations 2015. Savills (UK) Ltd has been appointed as Principal Designer up to the point of tender, handing this responsibility to Aster up to the point of contract award to assist with compliance, to ensure that others appointed under the contract are competent from a Health and Safety perspective and to co-ordinate and manage the Health and Safety aspects during the design phase.

Designers are also assigned legal duties under the Construction (Design and Management) Regulations 2015 for ensuring that their designs are prepared with adequate regard to Health and Safety for those who build; maintain; repair; clean and eventually demolish the structure of buildings.

1.2. Creating the Plan

This Pre-Construction Information Plan (Health and Safety) has been prepared in compliance with the Construction (Design and Management) Regulations 2015. It seeks to convey information provided by the Client, Designers and others and efforts have been made to produce a document which is as comprehensive as possible. It should be noted however, that this Pre-Construction Information Plan (Health and Safety) does not seek to be exhaustive, there may be unidentified hazards that may be present on site, in the existing structures or that may arise during the planned works.

The focus of this document is to highlight the identified hazards, particularly those which may be regarded as none standard or unusual in some way. The absence of a reference to a specific hazard should not be taken as an indication that such a hazard is not present or cannot or will not arise during the works.

This Pre-Construction Information Plan (Health and Safety) addresses Health and Safety issues only as defined within the Construction (Design and Management) Regulations 2015.

1.3. Using the Plan

This Pre-Construction Information Plan (Health and Safety) is to be developed by the Principal Contractor into the Construction Phase Plan (CPP) and should become a site specific document which sets out the arrangements for securing the Health and Safety of all of those who are carrying out the works and all others who may be affected by the works.

When developing the CPP the Principal Contractor should identify the hazards and assess the risk at each of the main stages of the construction phase including, but not necessarily limited to those identified within this document. The Principal Contractor should also identify his plans for managing Health and Safety.

The CPP needs to be kept up to date, modified and altered in the light of changing circumstances during the construction phase. As the construction work progresses, risk assessments, method statements and information from contractors shall be incorporated into the CPP.

Through ongoing review, amendments may need to be made to parts of the CPP if designs change or unforeseen circumstances arise. It is vital that such changes are notified to all those working on site who may be affected.

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2. Details of the Project

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2.1. Nature of the Construction Work and Outline Description of Project

Title: External Joinery Repairs, Redecorations & Associated Works

Site:

Drews Park, Devizes, Wiltshire, SN10 5FE including:-

1-12, 14-20 Bowes Court	1-9 Burnham Court & East Tower
1-8 Cedar Court	1-9 Chapel Court
1-10 Cooke Court & West Tower	1-12 & 14 Clock Tower Lodge
1-9 Elm Court & Common Area	1-8 Speer Court
1-12 & 14-41 Thurnham Court	1-12 & 14-18 Wyatt Court

2.2. Project Team

Client:

Aster
Sarsen Court
Horton Avenue
Devizes
SN10 2AZ

Principal Designer (Pre-Tender):

Savills (UK) Ltd
2 Charlotte Place
Southampton
Hampshire
SO15 0TB

Principal Designer (Tender):

Aster
Sarsen Court
Horton Avenue
Devizes
SN10 2AZ

Principal Contractor:

To be appointed

Contract Administrator & Project Manager:

Chris Chapman
Aster
Sarsen Court
Horton Avenue
Devizes
SN10 2AZ

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2.3. The Works:

Contract: JCT Intermediate Building Contract (IC)

The nature of the project generally consists of three main parts; the site set up, access and safety works; the preparation and repairs to joinery; and the comprehensive redecoration of windows, doors and joinery at Drews Park, Devizes.

Construction works shall consist of, but are not limited to the following activities;

- Site set up and establishment, to include the required external site segregation between compounds;
- Undertaking works in Sections as defined in the drawing pack;
- Preparing and carrying out joinery repairs, adjustments and making good ready for decorations;
- The comprehensive preparation and redecoration of joinery, windows and doors;
- The Comprehensive redecoration of associated fascia's, soffits and other elements;
- Careful remedial works to Eastern Chimney DPC, flashing and flaunching works;
- Localised cleaning activities;

2.4. Timescale for Completion of Construction Work

Anticipated start date: End of March 2021

Duration: Contractor to submit proposal with tender, but anticipated to be 31-32 weeks.

Principal Contractor's Mobilisation Period: Contractor to submit proposal with tender.

2.5. HSE Office & Corporate Medical Unit

Health and Safety Executive
14 New Fields
Stinsford Road
Nuffield Industrial Estate
Poole, Dorset
BH17 0NF

Note: This office will only receive visitors with a prior appointment.

2.6. Details of Notification to Health and Safety Executive

Initial: F10 notification to HSE – to be made now and revised at appointment of principal contractor.

Asbestos notification: None proposed

2.7. Intended use of the Buildings

As existing, residential.

2.8. Permits and Authorisation Requirements

Hot works permits will be required if such work is deemed necessary.

3. Client's Considerations & Management Requirements

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3.1. Health and safety goals

The Client has set out the following Health and Safety goals that should be considered throughout the project and the Contractor is to allow adequate resource to undertake the same.

- Clear and efficient communication between all parties.
- No major accidents / incidents during the project.
- All incidents and near misses to be recorded.
- High level of public protection to be provided at all times.
- No recurrence of breaches in safety legislation on subsequent safety inspection reports.
- No road traffic accidents involving vehicles entering or exiting the site.
- Adequate welfare facilities from the outset and throughout the duration of the project.
- A competent site manager to be in place from the outset of the project and throughout the project.
- Adequate measures to protect residents adjacent occupants and the public are to be in place from the outset of the project and incorporated into all elements.
- Build UK's guidance regarding COVID-19 precautions and the UK Government's latest advice will need to be followed. Appropriate RAMS will then need to be provided, if such is still ongoing during the project period.

3.2. Planning and Managing the Work

Savills (UK) Ltd has been co-ordinating the design work to date with the team on behalf of the client. It has made assumptions based on its experience and that of the project team as to the resources required and likely timescales for the construction of the project. The Principal Contractor will be required to forward its proposals to demonstrate that the construction work will be properly planned, managed and co-ordinated during the construction phase. To that end, the full requirements of this document and the associated tender pack must be taken into account.

The Principal Contractor shall devote sufficient effort to planning and managing Health and Safety in proportion to the risks and complexity associated with the project. Using the information provided, the Principal Contractor shall work with other Contractors to identify the hazards and assess the risks related to the works on site. Using this information, the Principal Contractor along with other Contractors involved, shall plan, manage and co-ordinate the construction phase.

The Principal Contractor shall forward details of how work is to be supervised and monitored to ensure that all work is undertaken safely. This shall form part of the Construction Phase Health and Safety Plan (CPP) to be submitted to the Principal Designer for review on behalf of the Client, prior to formal commencement of works on site. The Principal Contractor should build adequate time into their pre works programme to produce the Construction Phase Health and Safety Plan (Health and safety information), allow time for the Principal Designer to review the same and for response to any issues identified.

3.3. Communication and Liaison

Health and Safety matters will be discussed as part of the agenda at regular project meetings . These will be held with a mixture of virtual and on-site meetings. The meetings will be attended by the Client and / or the Client's representative, Designers, Contract Administrator and the Contractors. It is proposed that meetings will be held every 2 weeks.

Continued liaison will include review of the Health and Safety Plan following any substantial design changes that may have potential Health and Safety implications. Consideration must be given to "design out" or at least minimise the risks associated with the same and introduce control measures in compliance with the CDM Regulations and good working practice.

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The Principal Contractor, and where applicable any works contractors, must re-assess the Health and Safety implications of any substantial design changes and introduce control measures accordingly.

3.4. Arrangements for monitoring and review

The Client will expect to see evidence of regular inspections of Health and Safety performance on site. These reports should be made available to the Client during the project meetings on site. The Principal Contractor shall provide a competent source of Health and Safety advice within their organisation and a trained and competent operative to monitor Health and Safety on site.

3.5. Fire & Emergency Arrangements

The Principal Contractor shall formulate prior arrangements in the potential event of emergency situations arising and ensure that all site personnel are familiar with the same. The Principal Contractor shall distribute all 24-hour emergency and contact telephone numbers to the Client, design team and the appropriate site personnel. Fire and emergency procedures will need to be co-ordinated on site once the Principal Contractor has been formally appointed. To that end, fire points and management procedures must be in place prior to the commencement of construction works.

4. Existing Environment and Site Logistics

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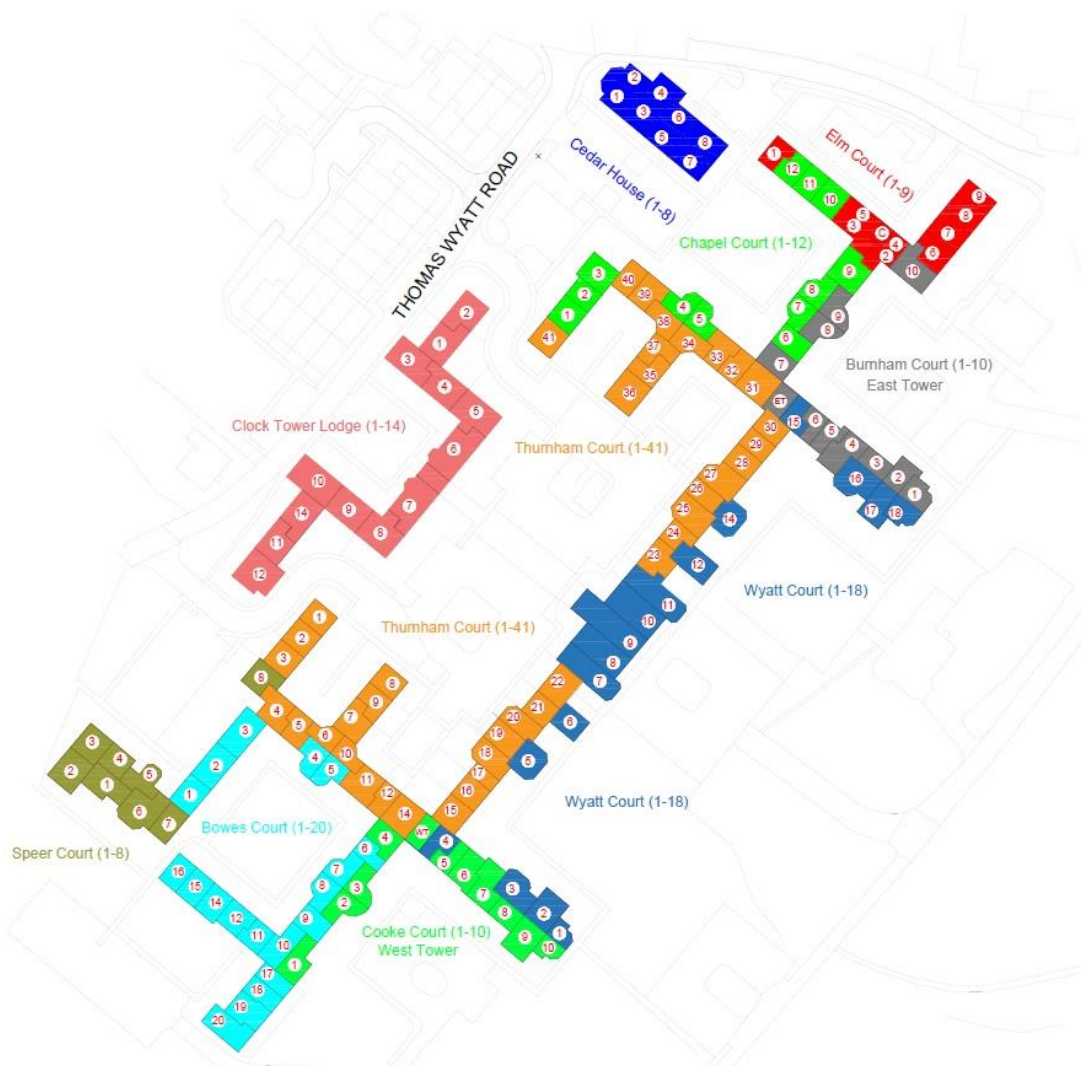
Redecorations, Drews Park, Devizes, Wiltshire, SN10 5FE



4.1. Details of Site and Surrounding Land Use

Drews Park Houses are a mix of flats, two and three storey residential properties formed out of the old, Roundway Hospital, converted to residential use in the late 1990's. The property is early Victorian construction with solid walls mainly of facing stone with some elevations finished in render. Surrounding land is primarily used for car parking and enjoyment by the owners.

An aerial view of the property can be seen below:



4.2. Existing Buildings on and Adjacent to the Site:

In addition to the individual properties there are a number of block and timber built bin store outbuildings on the site. Most of these are not close to where the main works will be carried out with the exception of the tower adjacent to Clock Tower Lodge. All other buildings on site must be protected adequately during the works.

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4.3. Parking

The contractor is to establish a small parking area to the south east of the site as illustrated in the Site Plan, and not to park any contractors vehicles on the property inconveniencing the owners and occupiers in other car parks. Access to residents' parking and driveways is to be maintained at all times.

4.4. Site Access and Egress

The buildings are accessed via Thomas Wyatt Road which runs around three sides of the site as shown in the site plans which is a surfaced and permanent access which can be accessed from Byron Road to the north. The access roads are to be kept clear at all times, and note a one way system is in place.

The Contractor should familiarise themselves with the site, surrounding features, access roads, parking and neighbouring highways prior to compiling of the Construction Phase Plan.

4.5. Loading and Unloading – Locations and/or Restrictions

The Contractor is to co-ordinate all deliveries to the site and to take into consideration the restrictions.

If it proves necessary that larger delivery vehicles reverse into the site the Contractor will need to include this strategy within its Traffic Management Plan. Should this be the case, a banksman will be required.

The Contractor must set out its procedures for the safe loading and unloading of materials, plant and equipment within the Construction Phase Plan, all to be coordinated in the area defined for contractors storage and parking on the plans.

4.6. Traffic / Pedestrian Routes

The houses will be occupied throughout the course of the works and consideration should be given to the occupants access and egress routes. The HSE guide **HSG 144 "The Safe Use of Vehicles on Construction Sites"** provides practical guidance on the prevention of accidents by avoiding hazards and controlling risks arising from the use of vehicles in construction work.

Provision should be made for protection of the public and non-site traffic from site operations.

4.7. Site Security and Protection Measures

Site security is of paramount importance to ensure the exclusion of unauthorised persons whilst the works are carried out.

Practical guidance may also be obtained from the HSE document:

HS (G) 151 "Protecting the public – your next move".

4.8. Temporary Site Accommodation – Location and/or Restrictions

Welfare facilities are to be provided in accordance with the Construction (Design and Management) Regulations 2015 and Workplace (Health Safety & Welfare) Regulations 1992. The Principal Contractor must provide all necessary welfare cabins/containers with clean hot and cold water for drinking and the preparation of food, and where needs dictate - fridge and microwave for storing and heating of food.

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The location for siting of welfare cabins is to be agreed before commencement and within the compound shown on the plans.

The Client is aware of his responsibilities under the abovementioned Regulations and will not permit works to commence on site until adequate welfare and sanitary arrangements are in place. The Principal Contractor shall submit their proposals to the Principal Designer prior to commencing any works on site.

4.9. Existing Services

4.9.1. Services generally

The site works area is likely to include underground soil drainage pipework, gas mains, incoming electrical cables and possibly rainwater soakaways. All works will need to be undertaken to avoid affecting below ground areas and to be carefully executed to avoid causing damage. The Contractor should perform appropriate service locating practices prior to undertaking works that may adversely impact such concealed services.

The Contractor shall ensure that all existing services within the buildings are isolated prior to undertaking work upon them where necessary. In addition to isolating services prior to works, the Contractor shall be aware of the risk of encountering unknown services within walls, floors, etc, which due to the age of the building may have arisen following earlier adaptations. The Contractor should use good service locating tools prior to making any breaks or intrusive work in structures where unknown services may be present.

4.10. Existing Building and Condition

The building is Grade II Listed and has been relatively well maintained and has a historic aesthetic. If any significant defects are found the Contractor should alert the Contract Administrator immediately.

The age and nature of the building are such that it should be expected that asbestos may be present in the following areas:

- Sash window cords.
- Sash window boxings.

The Principal Contractor is to familiarise itself with the site and comply with the requirements of the Control of Asbestos Regulations 2012. Should any suspect Asbestos containing materials be encountered during the course of the works, operations should be immediately suspended, the Contract Administrator advised and an Asbestos Surveyor engaged (at the Client's expense) to confirm whether ACMs are present. Only after appropriate removal and disposal or encapsulation and the taking of clean air tests will works be permitted to re-commence.

4.11. Potential Hazards on the Site and any Adjacent Areas:

- Presence of asbestos containing materials to some adjacent areas;
- Movement of pedestrians, vehicles and activities associated with residents and their visitors;
- Control of substances hazardous to health (old paint, oil products);
- Residents' dogs;
- COVID-19.

5. Significant Design and Construction Hazards & Potential Risks that will Require Further Investigation

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5.1. Principle of Design and Co-ordination of Design Work

The design principles adopted by Savills (UK) Ltd for the works are not thought to be unusual or particularly complicated and are considered to be within the capabilities of those contractors who will be chosen to tender for the works. The Contractor is to follow the schedule of works set out in the quotation. If there is any conflicting information, the Contractor is to contact the Contract Administrator immediately.

5.2. Significant Hazards or Work Sequences that cannot be designed out

The following hazards have been identified as being unavoidable and the Contractor is required to give a detailed explanation of its proposal to minimise any associated risks, precautions intended and how a safe working environment will be created.

The following list should not be considered as exhaustive but is intended to highlight the anticipated hazards and risks identified at design stage:

- Use of access road by residents, visitors and members of public;
- Construction traffic and deliveries;
- Temporary supports whilst dismantling work is taking place;
- Unknown asbestos containing materials within building fabric;
- Working at height;
- Hot works;
- Control of substances hazardous to health;
- Manual handling;
- Dust, vibration and other risks associated with preparation works;

5.3. General Hazards

5.3.1. Health Hazards

The Principal Contractor shall exercise reasonable skill, care and diligence to ensure that products or materials are not used where these are not in conformity with the relevant British or European Union Standards or codes of practice or are widely known to contractors and designers as being deleterious to Health and Safety or to the durability and safety of the works. Should the Contractor be unsure as to what products comply, a list will be provided upon request.

Should any prohibited materials be specified by the Client directly, the Principal Contractor shall immediately give written notice to the Design Team providing details of its proposals for dealing with the discrepancy. COVID-19 guidance regarding COVID-19 precautions and the UK Governments latest advice is to be followed. Appropriate RAMS will then need to be provided. The Principal Contractor shall at all times adhere to the following precautions and Preventative Measures that are to be implemented during this project:

- All site workers will be following the governments guidelines during the COVID-19 outbreak, until these are relaxed.
- All workers will travel in vehicles independently. Regular handwashing to be adhered to. Facemask provided and worn when required, and appropriate social distancing to be adhered to at all times, until the requirements are relaxed.
- If any person becomes unwell whilst onsite they must follow the NHS guidelines.
- This procedure should be reviewed continuously during the outbreak following the strict guidelines given by the government.
- <https://www.gov.uk/government/publications/full-guidance-on-staying-at-home-and-away-from-others/full-guidance-on-staying-at-home-and-away-from-others#going-to-work>

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5.3.2. Fire Hazards

The Principal Contractor shall take all necessary precautions to prevent injury, death and damage to the works or to other property from fire. It shall comply with the Joint Code of Practice for Fire Prevention on Construction Sites published by the Building Employers' Confederation, the Loss Prevention Council.

The Principal Contractor shall at all times adhere to the following Fire Precautions and Preventative Measures that are to be implemented during this project:

- Smoking shall not be permitted anywhere within the site boundary.
- The burning of waste materials shall not be permitted anywhere within the site boundary.
- A fire inspection shall be undertaken by the Principal Contractor at the end of each working day.
- All hot works shall be carried out under a daily Permit to Work System implemented by the Principal Contractor/Sub-contractor and Caretaker/Contract Administrator.
- Suitable and sufficient fire extinguishers shall be sited on and around the working areas.
- Rubbish and waste materials shall not be stored on site and shall be removed on a daily basis to prevent potential fire risk.
- Flammable materials including paints and oils shall not be stored within 5m of the building and preferably in a locked storage container.
- Fire detection and alarm equipment shall not be covered or decommissioned without prior written consent from the Contract Administrator and/or Principal Designer.
- Existing flammable equipment or materials stored in adjacent or nearby areas shall be protected so as to avoid fire risk or alternatively moved away from the work area.

5.3.3. Leptospirosis (Weils Disease) and other Water-borne Diseases

The Principal Contractor shall take appropriate measures to ensure that the risk of site personnel contracting waterborne diseases such as Leptospirosis is minimised, particularly when conducting work in existing drainage systems or when water is allowed to remain standing.

5.3.4. Noise; Dust and Vibration

The Principal Contractor shall comply with the recommendations of BS 5228: Part 1 clause 9.3; the Control of Noise at Work Regulations 2005 and the Control of Vibration at Work Regulations 2005 for minimising noise and vibration levels during the execution of the works.

5.3.5. Pollution

No suspected or known issues of contamination are thought to exist however the Contractor is to take all necessary precautions to prevent pollution of any watercourse or drain, deposition of any material into any watercourse or drain or discharge of polluted water into any watercourse or drain during the works.

The Contractor shall also take all necessary precautions to prevent nuisance from fire, dust, rubbish and vermin.

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5.3.6. Manual Handling

Particular care and attention shall be taken whilst manoeuvring heavy or large materials and plant. The Contractor shall use mechanical handling methods wherever practical. All lifting operations shall be Risk Assessed and communicated to the Design Team as and when applicable.

The Contractor shall ensure that an assessment is conducted prior to the removal or installation of any item likely to be in excess of 20kg that requires manual handling. This shall include mechanical transport as close as practical to the point of removal or installation. From there, a manual handling assessment should be conducted to include details of dual or co-ordinated lift if a mechanical device cannot be used to move materials to their final position.

5.3.7. Working at Height

All work at height will be subject to a site specific assessment in accordance with the Work at Height Regulations 2005 taking into account the hierarchy of risk control.

- Avoid work at height where possible;
- Use work equipment, access platforms or other measures to prevent falls where they cannot avoid working at height; and
- Where the risk of the fall cannot be eliminated, use work equipment or other measures to minimise the distance and consequences of a fall should one occur.

All scaffolding is to be installed by a NASC Contractor or a competent experienced contractor who can confirm that they are working to the prescribed standards of NASC or higher. All scaffolding is to be constructed in accordance with TG20:13 Guide to Good Practice for Scaffolding with Tube and Fittings. Any scaffolding should be erected in accordance with NASC guidance notes and inspected by a competent person. Inspections should be undertaken every 7 days and recorded by an appropriately qualified person for the type of scaffold with a copy of the record remaining on site for independent review. A good recognised record is the use of a 'Scafftag' which provides a visual record for users to inspect prior to use.

5.3.8. Temporary Works

Although no specific temporary works are currently proposed should these ultimately prove necessary once intrusive investigations are conducted then the Principal Contractor must ensure that all temporary works are sufficiently planned and managed. Arrangements for areas which may require temporary works should be included in the Contractor's Construction Phase Health and Safety Plan.

5.3.9. Traffic/Pedestrian Routes

The HSE Guide HSG 144 'The Safe Use of Vehicles on Construction Sites' provides practical guidance on the prevention of accidents by avoiding hazards and controlling risks arising from the use of vehicles in construction work. Provision should be made for protection of the occupiers, public and non-site traffic from site operations within the Site Traffic Plan.

5.3.10. Inspections

Regular inspections will be undertaken by the Client and professional advisors. The Contractor must allow safe access for such inspections.

6. Continuing Liaison

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6.1. Procedures for Dealing with Design Changes

Those design changes that have Health and Safety implications are to be brought to the attention of Contract Administrator and the Principal Designer. Procedures are to be established within the Design Team in order that the Principal Designer has opportunity to review appropriate Design Risk Assessments/Residual Risk Information and to co-ordinate this with the Principal Contractor. The Principal Contractor shall implement any required amendments to their developed Construction Phase Plan.

6.2. Design Development for Contractor Design Elements

Once designs have been prepared further risk assessments and methods statements may be required to undertake the work. Therefore this should be incorporated within the Contractor's Construction Phase Health and Safety Plan. The Principal Contractor must assess the competence of the Designers that it appoints. Items that may have significant residual hazards or risks shall be communicated to the Principal Designer or Design Team as soon as any untoward risk or hazard develops.

6.3. Health & Safety File / O&M Manuals

The Principal Contractor is to compile and provide to the Principal Designer all relevant information in its possession for the inclusion in the Health and Safety File to meet with the requirements of the Construction (Design and Management) Regulations 2015.

Information is to be supplied by Designers, Contractors and all other parties in good time to allow these to be completed within the given period. The members of the Design Team/Principal Designer will then check information supplied by the Principal Contractor and if aspects are absent then a request will be made to supplement this.

The following information shall be required, along with any further supplementary information obtained during the works or at the request of the Client or Principal Designer:

1. A brief description of the works.
2. Statement of any unusual access detail/areas, both internal and external eg: for window cleaning, maintenance, access to roof areas.
3. List of any residual hazards and how they have been dealt with.
4. Construction methods, structural details and accompanying information.
5. Schedule of materials and equipment to be used, including any hazardous materials used and their COSHH Material Safety Data Sheets.
6. The nature, location, depth and markings of all services and utilities crossing the site if applicable.
7. Statement of buried services, where they enter the building and their isolation points, cross referencing to the "As-built" drawings if applicable.
8. Information including maintenance manuals to specifically identify Health and Safety arrangements for the use, cleaning and maintenance of the structures and fittings. (Including Health and Safety information provided for cleaning or maintenance).

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Appendices

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Appendix 1 Designer's Risk Assessment

Client: Aster

Project: External Decorations and Repair Works
Drews Park, Devizes

File Ref: SNBC 471304

Severity (A): 3 = Fatality, major injury/illness
Causing long term disability
2 = Injury or illness causing
short term disability
1 = Other injury or illness

Frequency (B): 3 = Certain or near certain to occur
2 = Reasonably likely to occur
1 = Very seldom or never occurs

Rating: 9 = Remove or reduce risk
6 = Control risk
3 or under = Acceptable with
Appropriate control measures

ACTIVITY/ELEMENT	HAZARD	SEVERITY OF INJURY(A)	FREQUENCY (B)	RISK RATING (A x B)	ACTION/RESIDUAL RISK
Existing buildings.	Risk of uncovering hazardous concealed materials internally and externally.	2	1	2	Take appropriate precautions and notify CA / Project Manager immediately upon discovery. Take no further action until instructions received.
Working on slippery surfaces when on scaffolds or roof level.	Risk of slipping, falling and injury.	3	2	6	Take appropriate precautions, make sure areas are clean, and free of debris, use appropriate PPE including site boots, hard hats, make sure appropriate warning notices etc are displayed.
Moving or lifting heavy fixtures and fittings to facilitate works or as part of works.	Risk of falling materials or lifting injuries.	3	2	6	Take appropriate precautions comply with HSE guidance for lifting, and prepare a method statement as part of Pre-Construction Plan for approval. Instruct all personnel and follow this plan.
Masonry construction	Lifting injuries, brickwork, etc.	2	1	3	Limited works proposed to stone work in small areas. Lift only manageable weight. Contractors normal procedures apply.

Client: Aster

Project: External Decorations and Repair Works
Drews Park, Devizes

File Ref: SNBC 471304

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short term disability
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1 = Very seldom or never occurs

Rating: 9 = Remove or reduce risk
6 = Control risk
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Appropriate control measures

ACTIVITY/ELEMENT	HAZARD	SEVERITY OF INJURY(A)	FREQUENCY (B)	RISK RATING (A x B)	ACTION/RESIDUAL RISK
Public protection during the works.	Injury through unauthorised entry to site compound and site (i.e. children and others).	2	1	1	Site to be cordoned off with heras fencing and all areas of external scaffolding to have appropriate security measures. HERAS style fencing and physical protection to secure the site. Method statement required for appropriate security measures. Introduction of scaffold fan and double boarding to area where public pass under scaffold.
Public protection during the works	People walking past the site entrance or areas.	2	1	1	Site entrance cordoned off, warning notices etc. displayed.
Working at height.	Risk of falling and/or injury to workers below.	3	3	9	Suitable temporary scaffolding and working platforms with handrails to elevations in accordance with scaffold design. Works to roofs to be protected with guard rails. All operatives all to use hard hat protection.

Client: Aster

Project: External Decorations and Repair Works
Drews Park, Devizes

File Ref: SNBC 471304

Severity (A): 3 = Fatality, major injury/illness
Causing long term disability
2 = Injury or illness causing
short term disability
1 = Other injury or illness

Rating: 9 = Remove or reduce risk
6 = Control risk
3 or under = Acceptable with
Appropriate control measures

Frequency (B): 3 = Certain or near certain to occur
2 = Reasonably likely to occur
1 = Very seldom or never occurs

ACTIVITY/ELEMENT	HAZARD	SEVERITY OF INJURY(A)	FREQUENCY (B)	RISK RATING (A x B)	ACTION/RESIDUAL RISK
Proximity of work to other properties (including noise).	Risk of falling objects and noise.	3	1	3	Suitable scaffold working platforms and possible netting / mesh – work confined to agreed hours and areas. No other operations permitted below scaffolding. Ear protectors to be used when working with noisy tools and plant.
Working at height.	Public protection.	3	1	3	All areas where public might access to either be enclosed by heras fencing or alternative method statement required for appropriate security measures.
Working with hazardous or corrosive materials substances.	Risk of breathing in fumes or potential burns.	3	1	3	Use appropriate PPE including eye protection, gloves and overalls + First Aider at hand if any works are to be undertaken, in accordance with COSHH Assessment produced.
Owners coming into contact with hazardous or corrosive materials substances.	Risk of breathing in fumes or potential burns.	3	1	3	Make sure all areas of work involving these risks are separated off from the public, or appropriate distancing of the owners from the works.

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Appropriate control measures

ACTIVITY/ELEMENT	HAZARD	SEVERITY OF INJURY(A)	FREQUENCY (B)	RISK RATING (A x B)	ACTION/RESIDUAL RISK
Vehicular Access	Risk of vehicular accident at site access	3	1	3	Clear signage, site procedures to segregate traffic. Method Statement required. Areas permitted to Contractor as detailed on drawing 003
Rubble, debris, and materials including nails and screws to works.	Risk of cuts, injuries and infection.	2	3	6	Wear appropriate PPE including gloves, steel toe capped boots and hard hats. All areas to be regularly cleaned.
Using disc cutting equipment.	Risk of cuts, dust inhalation, infection and fire	3	1	3	Method statement to ensure safe working practices. Fire extinguishers to be on site. PPE including eye protection, dust masks, gloves + First Aider at hand.
Any works in proximity to stagnant stored water or site water.	Risk of disease/infection	2	1	2	Ensure washing facilities are provided and maintained + First Aider at hand.

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Appropriate control measuresFrequency (B): 3 = Certain or near certain to occur
2 = Reasonably likely to occur
1 = Very seldom or never occurs

ACTIVITY/ELEMENT	HAZARD	SEVERITY OF INJURY(A)	FREQUENCY (B)	RISK RATING (A x B)	ACTION/RESIDUAL RISK
Unauthorised use of power tools by untrained personnel	Injury due to lack of training, (cuts, bruises, loss of limbs)	3	2	6	Employ regular tool box talks including suitable training of operatives (Site Manager to check competence of all persons on site using power tools).
Disconnection of existing electrical supplies and cables or connection to existing for site use of power or other electrical works.	Risk of electrical shock and risk of fire.	3	2	6	Suitable protection against electrical shock, via isolation and work carried out by competent electrician.
Hot work, electrical installations, etc. (If applicable through variations to the contract works).	Risk of fire	3	1	3	No works planned at this stage. However, if they become required, contractor to implement site fire plan + no smoking except in designated areas.
Underground services	Electrocution	3	2	6	No works proposed to affect underground areas. If any works added, prepare Method Statement to establish safe working practice away from services or temporary re-routing thereof.

Pre-Construction Information Plan (Health and Safety)

Redecorations, Drews Park, Devizes, Wiltshire, SN10 5FE



Appendix 2 Plans of Site / Ownership



Land ownership

SN10 5FL



Show search results for SN10 5FL



Information available:



Freehold ownership: ASTER COMMUNITIES



Click the above to purchase title on HMLR e-services

Title No: WT166586

Property Address: land and buildings formally Roundham Hospital,
Thomas Wyatt Road, Devizes (SN10 5FD)

Price Paid:

Tenure: Freehold

Area: 39,532.57

Acres: 9.78

Hectares: 3.96

Simplified Ownership:

Date Owner Added:

Footprint Area: 6,165.95

Built Area: 0.16

Built Area Percent: 15.60

Owner Name 1: ASTER COMMUNITIES

Owner Number 1: IP31530R

Ownership Category: Individual and Resident Society (Company Body)

Zoom to



-1.988 51.340 Degrees

40m





Land ownership

SN10 5FL



Show search results for SN10 5FL



Information available:



Freehold ownership: ASTER COMMUNITIES

HM Land Registry



Click the above to purchase title on HMLR e-services

Title No: WT164361

Property Address: land and buildings at Roundway Hospital, Devizes

Price Paid:

Tenure: Freehold

Area: 3,684.94

Acres: 0.91

Hectares: 0.37

Simplified Ownership:

Date Owner Added:

Footprint Area: 947.90

Built Area: 0.26

Built Area Percent: 25.72

Owner Name 1: ASTER COMMUNITIES

Owner Number 1: IP31530R

Ownership Category 1: Industrial and Provident Society (Corporate Body)

Zoom to



-1.990 51.340 Degrees

40m





Aster Owned and included in the works.

Aster Responsibility and included in the works.

Outside the Scope of Works

Pre-Construction Information Plan (Health and Safety)

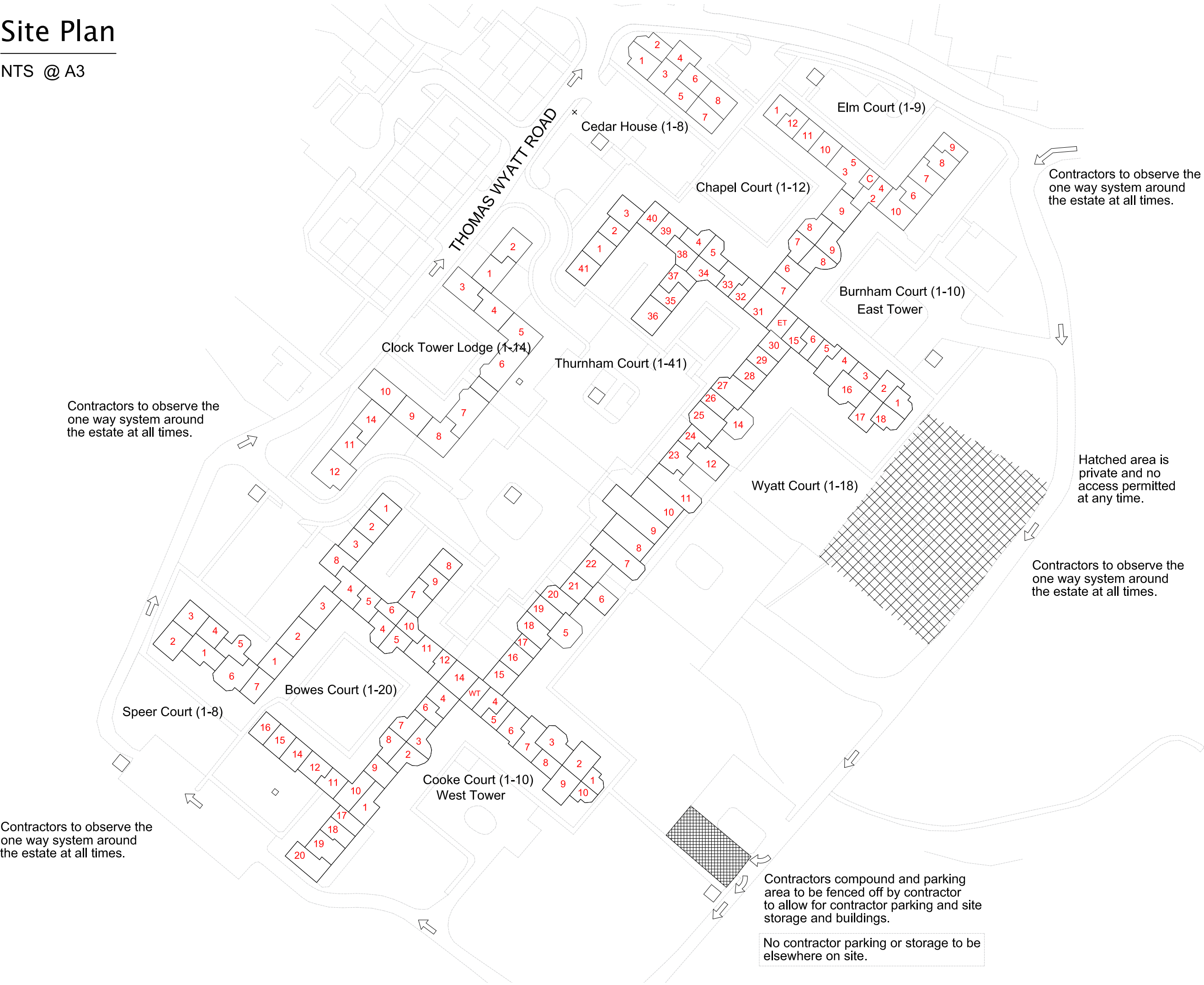
Redecorations, Drews Park, Devizes, Wiltshire, SN10 5FE



Appendix 3 Site Plan, Compound and Access

Site Plan

NTS @ A3



- NOTES
1. No dimensions are to be scaled from this drawing except for planning purposes.
 2. All dimensions are in millimeters unless stated otherwise.
 3. All dimensions must be checked onsite by the Contractor prior to the commencement of any fabrication or building works. At the time of producing this drawing, access was limited therefore Savills (UK) Limited may need to revisit dimensions which we were unable to obtain due to UK lockdown.
 4. This drawing is copyright protected and remains the property of Savills (UK) Limited. It may not be copied or disclosed to any third party for any purpose except as authorised in writing by Savills (UK) Limited.
 5. Any error or omission is to be reported to Savills (UK) Limited. If in doubt ask. This drawing is to be read in conjunction with all the relevant Architects and/or specialist drawings or documents and any discrepancy or variation is to be notified to Savills (UK) Limited before any works commence.
 6. Site Location Plans are prepared from the Ordnance Survey Map with the sanction of the Controller of H.M. Stationery Office. Crown Copyright Reserved.

REVISION	DATE	VARIATION



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CLIENT NAME	
ASTER COMMUNITIES	
PROJECT NAME	
External Decorations Project	
ADDRESS DREWS PARK THOMAS WYATT ROAD SN10 5FE	PROJECT NUMBER 471304 DRAWING NUMBER 0001 DATE 10 December 2020 REVISION —
DRAWING TITLE	
SITE PLAN (Site access and contractors compound)	
CAD REFERENCE G:\Bldg Consult\CLIENTS\02 Estate Clients\Aster\Draws Park, Devises	
SCALE NTS @ A3	DRAWN BY AS
CHECKED BY NI	

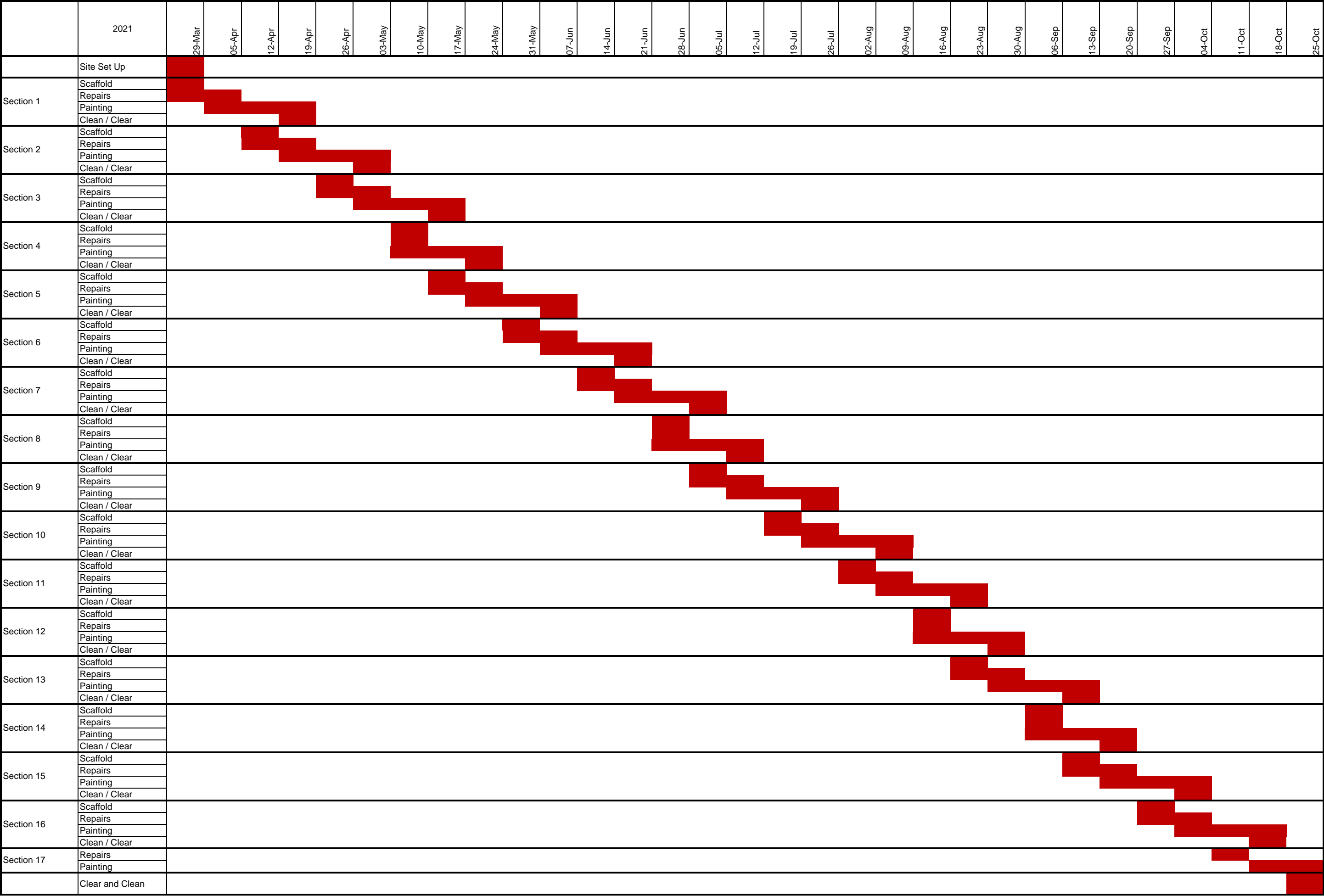
Pre-Construction Information Plan (Health and Safety)

Redecorations, Drews Park, Devizes, Wiltshire, SN10 5FE



Appendix 4 Provisional Programme of Sectional Completions

Drews Park, Devizes
Indicative Programme Showing Site Overlaps and Sectional Completions



Nicholas Ireland FRICS

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